 <p>Fitchburg</p>	<p>City of Fitchburg Planning/Zoning Department 5520 Lacy Road Fitchburg, WI 53711 (608-270-4200)</p>	<h2 style="text-align: center;">REZONING APPLICATION</h2>
-----------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the _____ district to the _____ district the following described property:

1. Location of Property/Street Address: Anderburg Dr.

Legal Description - (Metes & Bounds, or Lot No. And Plat):

See Attached,

***Also submit in electronic format (MS WORD or plain text) by email to: planning@fitchburgwi.gov

2. Proposed Use of Property - Explanation of Request:

12 Unit Apartment Project

3. Proposed Development Schedule: Fall 2015

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@fitchburgwi.gov. Additional information may be requested.

Type of Residential Development (If Applicable): Affordable/Designer Units

Total Dwelling Units Proposed: 12 No. Of Parking Stalls: 31

Type of Non-residential Development (If Applicable): _____

Proposed Hours of Operation: _____ No. Of Employees: _____

Floor Area: 14,976 No. Of Parking Stalls: _____

Sewer: Municipal ☒ Private ☐ Water: Municipal ☒ Private ☐

Current Owner of Property: Under Contract w/ Cresp LLC

Address: 73 White Oaks Ln. Phone No: 608 347 7322

Contact Person: Bob Sieger

Email: siegerarchitects@sbcglobal.net

Address: _____ Phone No: _____

Respectfully Submitted By: Robert Sieger Phone No: _____

Owner's or Authorized Agent's Signature Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 8/12/15 Publish: _____ and _____

Ordinance Section No. _____ Fee Paid: \$580.00

Permit Request No. RZ-2077-15



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person:

BOB SIEGER

Address:

73 White Oak Madison

Phone Number of Contact Person:

608 347-7332

City, State, Zip Code:

Madison

53711

Email of Contact Person:

siegerarchitect@sbglobal.net

Project Address:

Anderberg D

Lot:

Subdivision:

Project Type:



Multi-Family

☐ Commercial

☐ Industrial

☐ Other



New

☐ Addition

Impervious Surface Ratio (ISR):

28.3

(City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- ☒
- ☒
- ☒
- ☒
- ☒
- ☒
- ☒
- ☒
- ☒
- ☒

1. Lot or property dimensions.
2. Orientation (to north).
3. Adjacent highways, roads, drive, etc.
4. Existing natural features (rivers, ponds, wetlands).
5. Existing buildings and/or improvements.
6. Existing and proposed site drainage.
7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
8. ISR shall be indicated on all plans.
9. Stormwater management plans and details.
10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- ☒
- ☒
- ☒
- ☒
- ☒
- ☒
- ☒
- ☒
- ☒
- ☒
- ☒
- ☒
- ☒

1. Building size, configuration and orientation.
2. Distance from lot lines.
3. Distance from other buildings, improvements and natural features.
4. Location of well, septic tank, drainfield, etc. (if applicable)
5. Additional proposed additions or new structures.
6. Construction type (wood frame, structural steel, etc.).
7. Foundation type (full basement, slab on grade, etc.).
8. Number of levels.
9. Siding/exterior covering type, color, texture, etc.
10. Roof type (gable, hip, shed, flat, etc.) and pitch.
11. Roofing material type, color, texture, etc.
12. Exterior door and window location, size, type, etc.
13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- ☒
- ☒
- ☒
- ☒
- ☒

1. Location of highway and road access points.
2. Location, size, configuration of drivers and walks.
3. Number, size, location of parking spaces.
4. Location of handicapped parking and accessible building entrances.
5. Bicycle rack(s).

ARCHITECTURAL AND DESIGN REVIEW APPLICATION
Page 2

Landscaping:

☒
☒
☒
☒

1. Location, species, size of existing trees, shrubs, and plantings.
2. Location, species, size of proposed plantings.
3. Location and size of all paved, seeded/sodded and gravelled areas.
4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: _____

Applicant or Authorized Agent

Date: _____

8.18.15

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: _____

8/18/2015

Plan Commission Date: _____

Comments:

EXHIBIT A

Commitment No.: 115030060

Parcel A:

Part of the Northwest 1/4 of the Northwest 1/4 of Section 1, Township 6 North, Range 9 East, in the City of Fitchburg, Dane County, Wisconsin, described as follows: Beginning in the centerline of U.S. Highway 13 which is 1599.6 feet Southeasterly from intersection of centerline with North line of section extended; thence North 67°15' East, 17.8 feet to the point of beginning; thence North 23°51' East, 84.2 feet; thence North 68°38' East, 137.9 feet; thence South 16°03' East to a point North 67°15' East, 200 feet from the point of beginning; thence South 67°15' West, 200 feet to the point of beginning.

Parcel B:

Part of the fractional Northwest 1/4 of the Northwest 1/4 of Section 1, Township 6 North, Range 9 East, (Township of Fitchburg), now in the City of Fitchburg, Dane County, Wisconsin, described as follows: Beginning at a point in the center of U.S. Highway 13 which is 1599.65 feet Southeasterly from the point of intersection of said center line of said U.S. Highway 13 with North line of said Section 1 extended; thence South 29°06' East, 97.1 feet along said center line; thence North 67°15' East, 178 feet to the center of an old highway; thence North 16°03' West, 96.8 feet along the center line of said highway; thence South 67°15' West, 200 feet to the place of beginning.

Parcel C:

Part of the West 1/2 of the Northwest 1/4 of Section 1, Township 6 North, Range 9 East, in the City of Fitchburg, Dane County, Wisconsin, and which is more particularly described as follows: Commencing at the intersection of the North line of Section 2, Township of Fitchburg, and the center line of U.S. Highway 14; thence Southeasterly along said center line of highway, 1696.75 feet to the point of beginning of this description; thence North 66°25' East, 178.5 feet to the center line of an old road; thence South 15°16' East along said center line of old road, 120.2 feet; thence Westerly to a point in the center line of U.S. Highways 13 and 14, that is North 29°06' West, 350 feet from the center of the Concrete Bridge spanning Nine Springs Drainage Ditch; thence North 29°06' West along said center line of highway, 98.7 feet to the point of beginning.

Parcel D:

Part of the West 1/2 of the Northwest 1/4 of Section 1, Township 6 North, Range 9 East, (Township of Fitchburg), now in the City of Fitchburg, Dane County, Wisconsin: Commencing at the centerline of highway at a point, which is 2170 feet South from the North line of the Township of Fitchburg; thence North 0°41' East, 202.4 feet along center line of old road; thence North 11°23' West, 147.6 feet along the center line of old road; thence Westerly 150 feet to the center of U.S. Highways 13 and 14; thence Southeasterly 350 feet along the centerline of said U.S. Highways 13 and 14 to the point of beginning.

BUILDING INFORMATION:

DESCRIPTION: (1) 4-UNIT APARTMENT BUILDING "A"
(1) 4-UNIT APARTMENT BUILDING "B"
(1) 4-UNIT APARTMENT BUILDING "C"

SITE AREA: 41,406 sq. ft.

UNIT AREA: BUILDING "A-B-C" (each unit-2 Bedroom)
1st flr= (w/ garage) 575 SF 2nd flr= 672 sq. ft = 1480

TOTAL ENCLOSED SF Units = 14,976 sq. ft.

OCCUPANCY CLASSIFICATION: Residential, R-2

CLASS OF CONSTRUCTION: Type VB

BUILDING HEIGHT: 22'-9"

FIRE PROTECTION: Building shall have smoke detectors and fire alarms
per governing code. Life safety per 2000 NFPA 101
Life safety code. SPRINKLERS PER NFPA 13R

SITE INFORMATION

Residential Multifamily

41,406 sq.ft SITE AREA .

(12) 2-BEDROOM- 672 sf
(EXCLUDING GARAGE)
(12) 2 CAR GARAGE - 576 SF

12 UNITS (24 BED ROOMS)
576 SF/UNIT FOOTPRINT-2BEDF

TOTAL: 6,912 sq.ft. = 16.6% SITE COVERAGE

PERVIOUS AREA: 29650 sq.ft. (71.7%)

IMPERVIOUS AREA: 11,756 sq.ft. (28.3%)

IMPERVIOUS AREA:

STAINED CONC = 3330 SF
CONC PARKING = 1334 SF
DUMPSTER PAD = 180 SF
BLDG FOOTPRINT = 6912 SF
TOTAL 11,756 sq ft

PARKING STALLS

GARAGES = 24 STALLS
ON SITE = 7 STALL (1 ADA)

LOT A = 7191 SF
LOT B = 12,147 SF
LOT C = 11,063 SF
LOT D = 11,000 SF (TO BE PARK LAND)

PROJECT

12 UNIT E-WAY VIEW APARTMENTS

ANDERBERG DRIVE
FITCHBURG, WI

DEVELOPER/OWNER

SALiving
P.O Box 45724
Madison, WI 53744

Phone: 608 274-3121
email: siegerarchitects@sbcglobal.net

ARCHITECT

SiegerARCHITECTS

73 White Oaks Ln
Madison, WI 53711
Phone: 608.347.7332

email: siegerarchitects@sbcglobal.net
Bob Sieger

PROJECT #
1510

CITY OF FITCHBURG PLANNING COMMISSION REZONING REQUEST

AUGUST 18, 14, 2015

SHEET INDEX

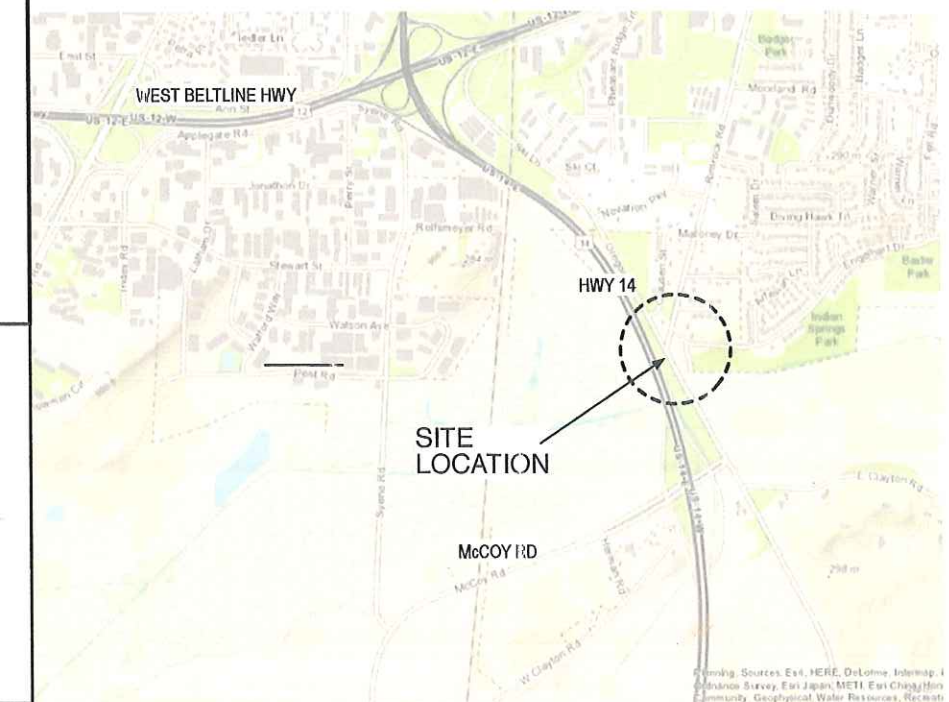
C1.0 Existing Site Survey (JSD Engr.)
C1.0a Existing Site Aerial Photo
C1.0b Existing Site Photos
C1.0 Existing Site w/ Multi Family setbacks
C1.1 Proposed Site Plan
C1.4 Grading - Utility Concept -

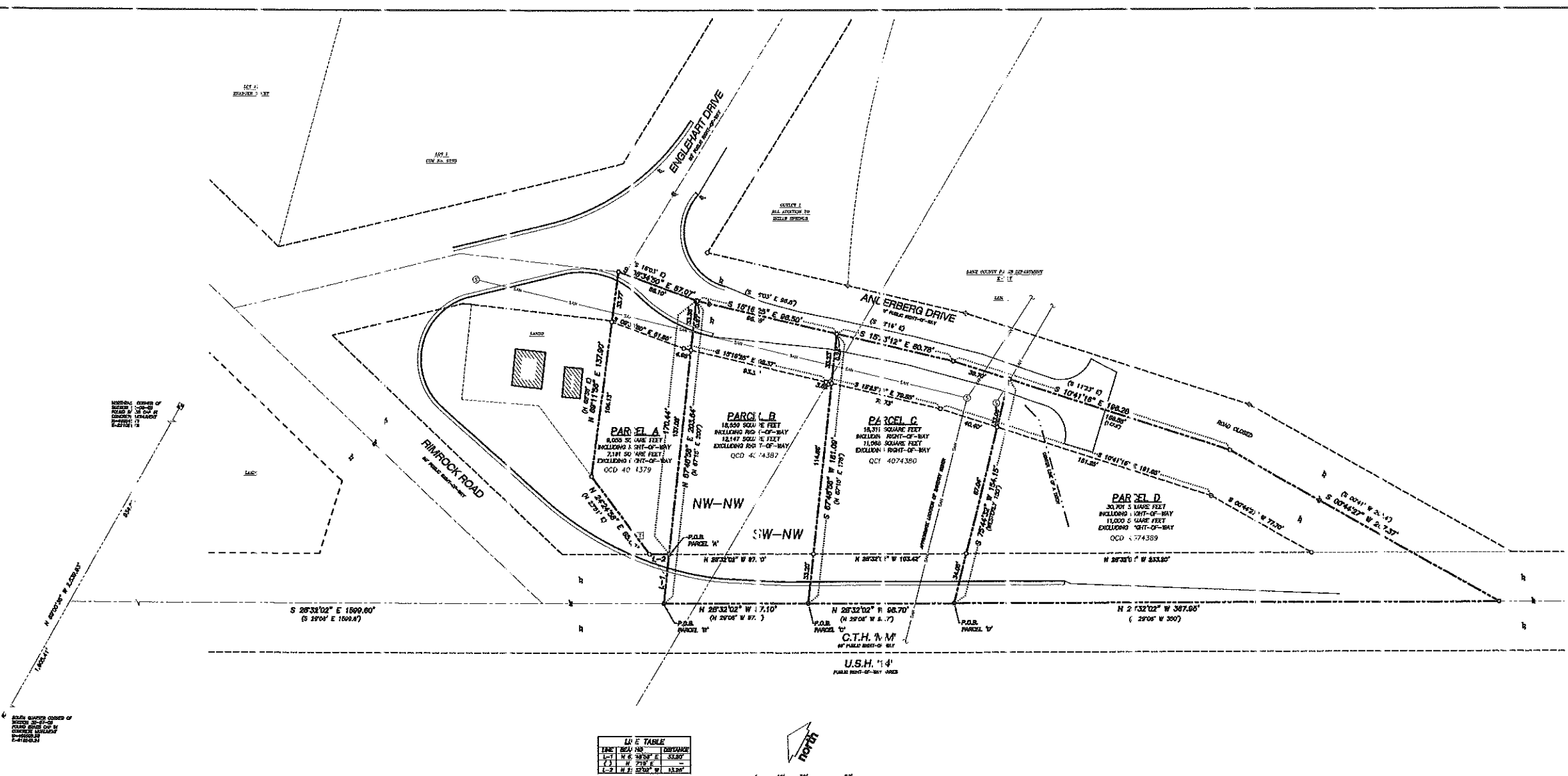
C1.5 Landscaping Plan
C1.6 Lighting Plan

C2.1 Architectural Site Details
C2.2 Landscape Details

A1.1 Unit Floor Plans
A4.1 Front / Side / Rear Elevations

Attached lighting cut sheets





- LEGEND**
- GOVERNMENT CORNER
 - 2" IRON PIPE FOUND
 - ◇ ALUMINUM CAP FOUND
 - 3/4" x 24" REBAR SET (1.50 BS/A)
 - COTTON SPIRACLE SET
 - M.A.G. NAIL SET
 - SANITARY MANHOLE
 - TELEPHONE PEDISTAL
 - PARCEL BOUNDARY
 - RIGHT-OF-WAY LINE
 - CENTERLINE
 - PLATTED LOT LINE
 - SECTION LINE
 - SANITARY SEWER
 - BUILDING
 - EDGE OF BULMOUNDS
 - CONCRETE CURB & GUTTER
 - DITCH LINE
 - () RECORDED INFORMATION

NOTES

1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON MAY 13, 2013.

2. BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY CO-ORDINATE SYSTEM (NAD83), DANE COUNTY.

3. THESE PARCELS ARE SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

LEGAL DESCRIPTION (AS FURNISHED)-PARCEL A
OUT CLAIM REEL DOCUMENT NO. 4074379

PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 8 NORTH, RANGE 9 E. 31, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING IN THE CENTERLINE OF U.S. HIGHWAY 100 (100' WIDE) 100' SOUTH OF THE INTERSECTION OF U.S. HIGHWAY 100 AND THE CENTERLINE OF THE NORTH LINE OF SECTION 2, TOWNSHIP 8 NORTH, RANGE 9 E. 31, U.S. HIGHWAY 100, 100' FEET TO THE POINT OF BEGINNING OF THIS PARCEL; THENCE NORTH 86 DEGREES 20 MINUTES EAST, 178.5 FEET TO THE CENTERLINE OF U.S. HIGHWAY 100; THENCE SOUTH 15 DEGREES 18 MINUTES EAST, 300 FEET TO THE CENTERLINE OF U.S. HIGHWAY 100; THENCE NORTH 20 DEGREES 15 MINUTES WEST, 300 FEET TO THE POINT OF BEGINNING OF THIS PARCEL.

SUBJECT TO: HIGHWAYS.

TAX KEY NO.: 225/0600-012-8230-3

LEGAL DESCRIPTION (AS FURNISHED)-PARCEL B
OUT CLAIM REEL DOCUMENT NO. 4074387

PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 8 NORTH, RANGE 9 E. 31, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING IN THE CENTERLINE OF U.S. HIGHWAY 100 (100' WIDE) 100' SOUTH OF THE INTERSECTION OF U.S. HIGHWAY 100 AND THE CENTERLINE OF THE NORTH LINE OF SECTION 2, TOWNSHIP 8 NORTH, RANGE 9 E. 31, U.S. HIGHWAY 100, 100' FEET TO THE POINT OF BEGINNING OF THIS PARCEL; THENCE NORTH 86 DEGREES 20 MINUTES EAST, 178.5 FEET TO THE CENTERLINE OF U.S. HIGHWAY 100; THENCE SOUTH 15 DEGREES 18 MINUTES EAST, 300 FEET TO THE CENTERLINE OF U.S. HIGHWAY 100; THENCE NORTH 20 DEGREES 15 MINUTES WEST, 300 FEET TO THE POINT OF BEGINNING OF THIS PARCEL.

SUBJECT TO: HIGHWAYS.

TAX KEY NO.: 225/0600-012-8230-3

LEGAL DESCRIPTION (AS FURNISHED)-PARCEL C
OUT CLAIM REEL DOCUMENT NO. 4074380

PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 8 NORTH, RANGE 9 E. 31, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING IN THE CENTERLINE OF U.S. HIGHWAY 100 (100' WIDE) 100' SOUTH OF THE INTERSECTION OF U.S. HIGHWAY 100 AND THE CENTERLINE OF THE NORTH LINE OF SECTION 2, TOWNSHIP 8 NORTH, RANGE 9 E. 31, U.S. HIGHWAY 100, 100' FEET TO THE POINT OF BEGINNING OF THIS PARCEL; THENCE NORTH 86 DEGREES 20 MINUTES EAST, 178.5 FEET TO THE CENTERLINE OF U.S. HIGHWAY 100; THENCE SOUTH 15 DEGREES 18 MINUTES EAST, 300 FEET TO THE CENTERLINE OF U.S. HIGHWAY 100; THENCE NORTH 20 DEGREES 15 MINUTES WEST, 300 FEET TO THE POINT OF BEGINNING OF THIS PARCEL.

SUBJECT TO: HIGHWAYS.

TAX KEY NO.: 225/0600-012-8230-3

LEGAL DESCRIPTION (AS FURNISHED)-PARCEL D
OUT CLAIM REEL DOCUMENT NO. 4074389

PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 8 NORTH, RANGE 9 E. 31, IN THE CITY OF FITCHBURG, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING IN THE CENTERLINE OF U.S. HIGHWAY 100 (100' WIDE) 100' SOUTH OF THE INTERSECTION OF U.S. HIGHWAY 100 AND THE CENTERLINE OF THE NORTH LINE OF SECTION 2, TOWNSHIP 8 NORTH, RANGE 9 E. 31, U.S. HIGHWAY 100, 100' FEET TO THE POINT OF BEGINNING OF THIS PARCEL; THENCE NORTH 86 DEGREES 20 MINUTES EAST, 178.5 FEET TO THE CENTERLINE OF U.S. HIGHWAY 100; THENCE SOUTH 15 DEGREES 18 MINUTES EAST, 300 FEET TO THE CENTERLINE OF U.S. HIGHWAY 100; THENCE NORTH 20 DEGREES 15 MINUTES WEST, 300 FEET TO THE POINT OF BEGINNING OF THIS PARCEL.

SUBJECT TO: HIGHWAYS.

TAX KEY NO.: 225/0600-012-8230-3

SURVEYOR'S CERTIFICATE

I, JOHN KROEDS, WISCONSIN REGISTERED LAND SURVEYOR NO. S-1876, HEREBY CERTIFY THAT THIS PLAT OF SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION FURNISHED.

JOHN KROEDS, S-1876
REGISTERED LAND SURVEYOR

DATE: _____

DATE		05-04-2013	DATE	05-24-2013	DATE	05-24-2013
CHECKED BY	JK	PRK	CHK	CHK	CHK	CHK
APPROVED BY						
PROJECT NO.		13-558				
FILE NO.		E-154				
SURVEYED		JK				
F.R. NO./P.C.		225/18				
SHEET NO.		1 OF 1				

PLAT OF SURVEY

PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 08 NORTH, RANGE 09 EAST, CITY OF FITCHBURG, DANE COUNTY, WISCONSIN.

JSD Professional Services, Inc.
- Engineers - Surveyors - Planners
100 WISCONSIN AVENUE, SUITE 101
FITCHBURG, WISCONSIN 53530
PHONE: 608.785.1234
FAX: 608.785.1235
WWW.JSD-ENGINEERS.COM



VIEW SOUTH FROM ENGLEHART STREET



VIEW SOUTH TO CREEK



VIEW EAST TO PARK AND E-WAY



VIEW NORTH ALONG ANDERBERG

architect
 **SIEGER ARCHITECTS**
 ARCHITECTURE
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608.347.7332
 siegerarchitects@sbccglobal.net

SITE PHOTO		C1.0b
Project	Fitchburg 6 Unit Anderberg & Oregon Rd Fitchburg, WI	
Owner	SALiving LLC Group P.O Box 45724 Madison WI 53744	
8.18.16		

SITE INFORMATION

LOT A = 7191 SF
LOT B = 12,147 SF
LOT C = 11,068 SF
LOT D = 11,000 SF (TO BE PARK LAND)

Residential Multifamily

41,406 sq.ft SITE AREA

(12) 2-BEDROOM - 672 sf
(EXCLUDING GARAGE)
(12) 2 CAR GARAGE - 576 SF

12 UNITS (24 BEDROOMS)
576 SF/UNIT FOOTPRINT-2BEDR

TOTAL: 6,912 sq.ft. = 16.6% SITE COVERAGE

PERVIOUS AREA: 29650 sq.ft. (71.7%)

IMPERVIOUS AREA: 11,756 sq.ft. (28.3%)

IMPERVIOUS AREA:

STAINED CONC = 3330 SF
CONC PARKING = 1334 SF
DUMPSTER PAD = 180 SF
BLDG FOOTPRINT = 6912 SF
TOTAL 11,756 sq ft

PARKING STALLS

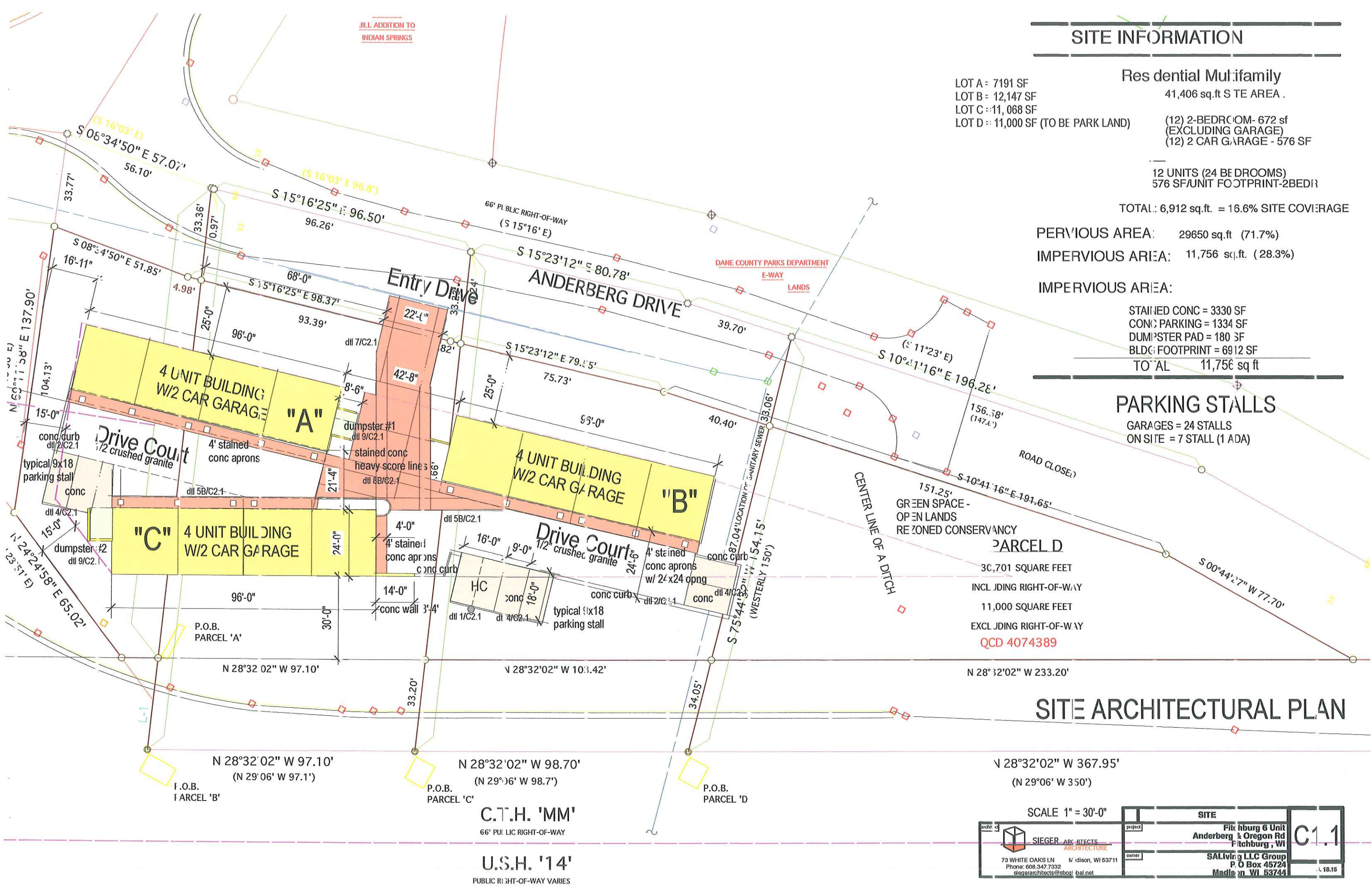
GARAGES = 24 STALLS
ON SITE = 7 STALL (1 ADA)

SITE ARCHITECTURAL PLAN

N 28°32'02" W 367.95'
(N 29°06' W 350')

SCALE 1" = 30'-0"

SITE		C1.1
project	Fitchburg 6 Unit Anderberg & Oregon Rd Fitchburg, WI	
owner	SALIVING LLC Group P.O. Box 45724 Madison, WI 53744	
architect	SIEGER ARCHITECTS ARCHITECTURE 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbqj bal.net	
date	10.15	



SITE INFORMATION

Residential Multifamily

LOT A = 7191 SF
LOT B = 12,147 SF
LOT C = 11,068 SF
LOT D = 11,000 SF (TO BE PARK LAND)

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(EXCLUDING GARAGE)
(12) 2 CAR GARAGE - 576 SF

12 UNITS (24 BEDROOMS)
576 SF/UNIT FOOTPRINT-2BED 2BATH

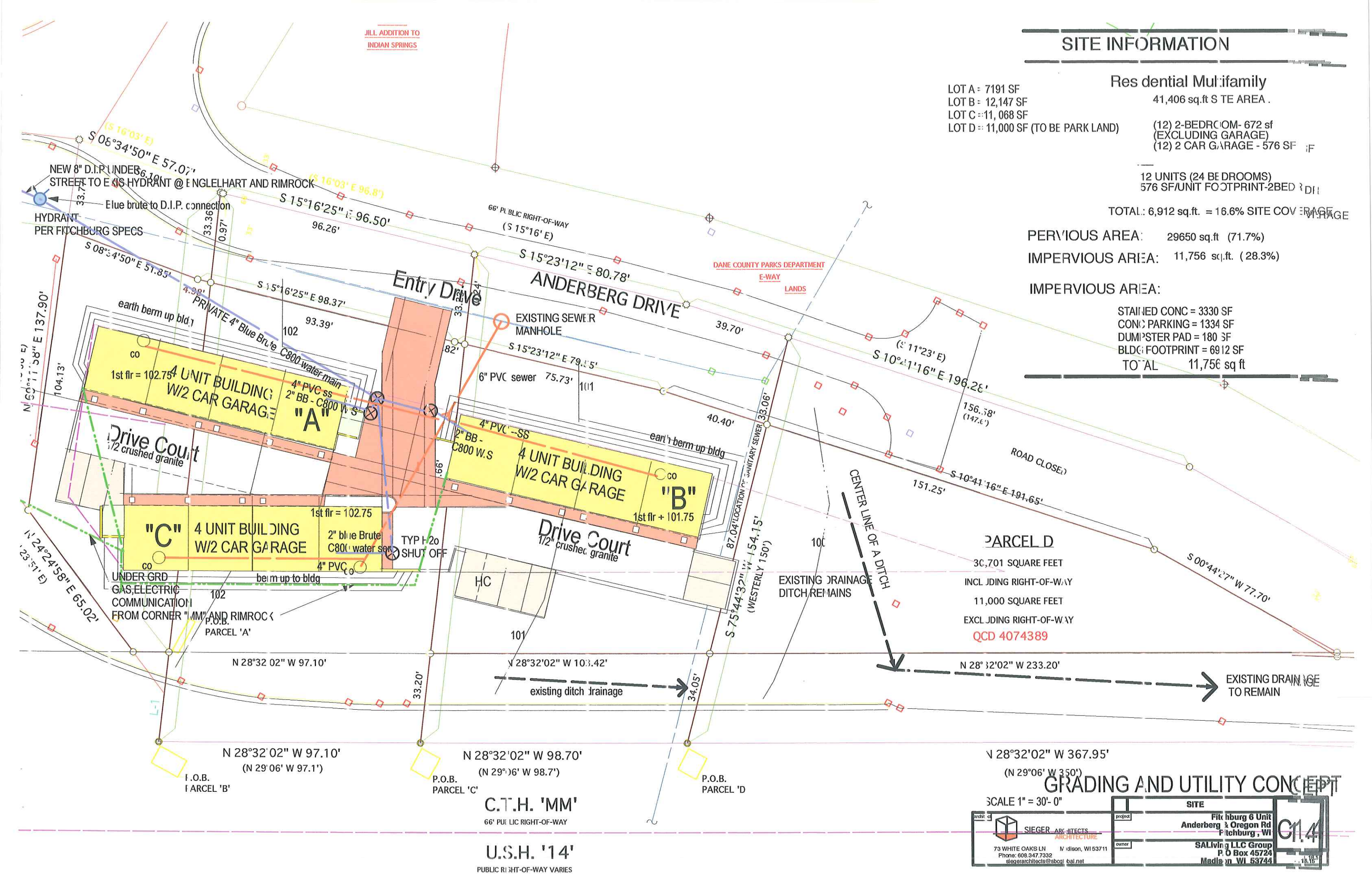
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DUMPSTER PAD = 180 SF
BLDG FOOTPRINT = 6912 SF
TOTAL 11,756 sq ft



PARCEL D

30,701 SQUARE FEET
INCLUDING RIGHT-OF-WAY
11,000 SQUARE FEET
EXCLUDING RIGHT-OF-WAY
QCD 4074389

GRADING AND UTILITY CONCEPT

SCALE 1" = 30'-0"

SITE	
project	Fitchburg 6 Unit Anderberg & Oregon Rd Fitchburg, WI
owner	SALIVING LLC Group P.O. Box 45724 Madison, WI 53744
architect	SIEGER ARCHITECTS 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net

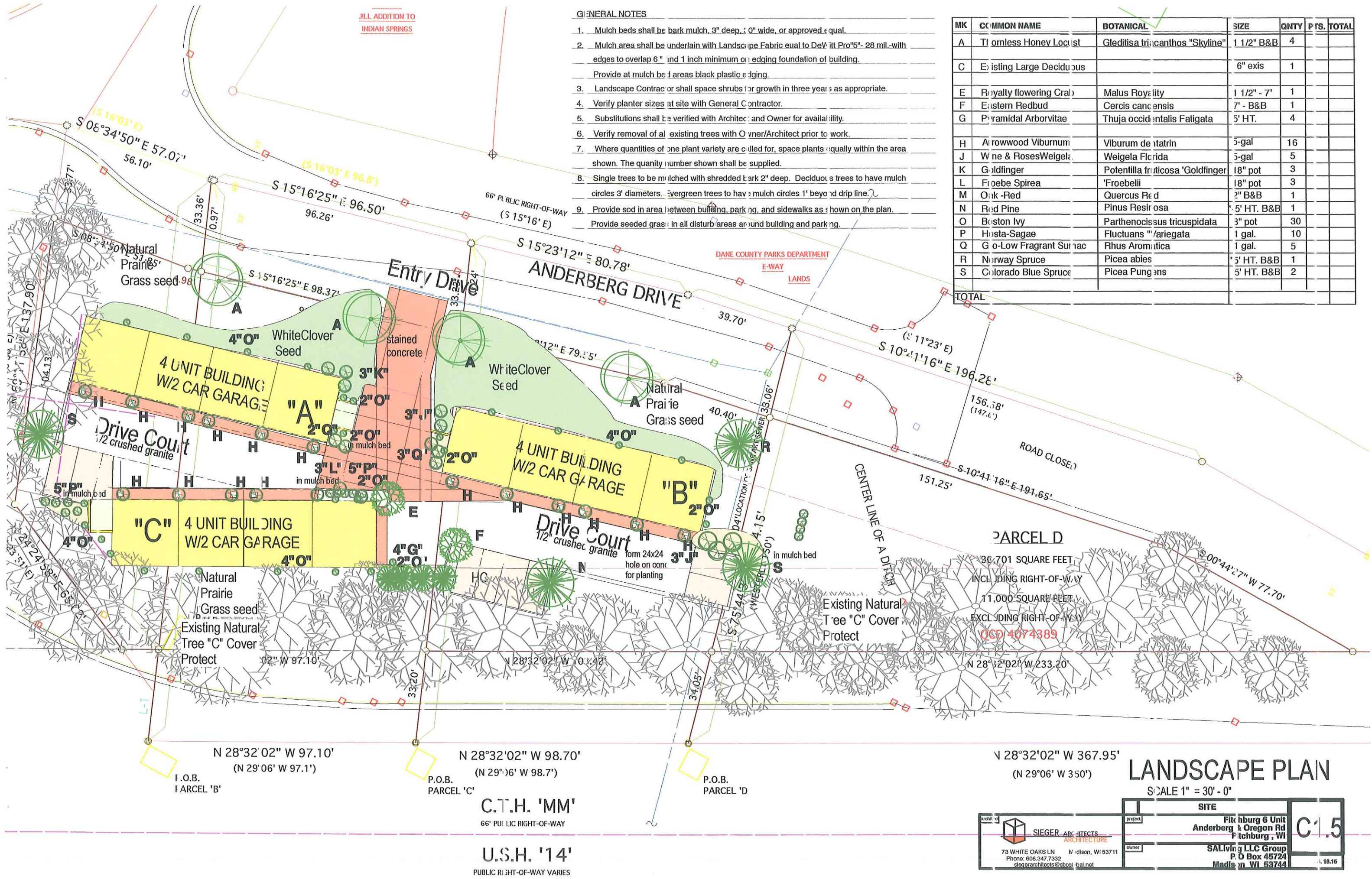
C1.4

JLL ADDITION TO
INDIAN SPRINGS

GENERAL NOTES

- Mulch beds shall be bark mulch, 3" deep, 1' 0" wide, or approved equal.
- Mulch area shall be underlain with Landscape Fabric equal to DeWitt Pro 5" - 28 mil. with edges to overlap 6" and 1 inch minimum on edging foundation of building.
Provide at mulch bed areas black plastic edging.
- Landscape Contractor shall space shrubs for growth in three years as appropriate.
- Verify planter sizes at site with General Contractor.
- Substitutions shall be verified with Architect and Owner for availability.
- Verify removal of all existing trees with Owner/Architect prior to work.
- Where quantities of one plant variety are called for, space plants equally within the area shown. The quantity number shown shall be supplied.
- Single trees to be mulched with shredded bark 2" deep. Deciduous trees to have mulch circles 3' diameters. Evergreen trees to have mulch circles 1' beyond drip line.
- Provide sod in area between building, parking, and sidewalks as shown on the plan.
Provide seeded grass in all disturb areas around building and parking.

MK	COMMON NAME	BOTANICAL	SIZE	QNTY	PFS.	TOTAL
A	Thornless Honey Locust	Gleditsia triacanthos "Skyline"	1 1/2" B&B	4		
C	Existing Large Deciduous		6" exis	1		
E	Royalty flowering Crab	Malus Royalty	1 1/2" - 7'	1		
F	Eastern Redbud	Cercis canadensis	7' - B&B	1		
G	Pyramidal Arborvitae	Thuja occidentalis Fatigata	5' HT.	4		
H	Arrowwood Viburnum	Viburnum dentatum	5-gal	16		
J	Wine & Roses Weigela	Weigela Florida	5-gal	5		
K	Goldfinger	Potentilla fruticosa 'Goldfinger'	18" pot	3		
L	Frøbe Spirea	'Frøbellii	18" pot	3		
M	Oak - Red	Quercus Red	2" B&B	1		
N	Red Pine	Pinus Resinosa	5' HT. B&B	1		
O	Boston Ivy	Parthenocissus tricuspidata	3" pot	30		
P	Hosta-Sagee	Fluctuans 'variegata	1 gal.	10		
Q	Go-Low Fragrant Sumac	Rhus Aromatica	1 gal.	5		
R	Norway Spruce	Picea abies	5' HT. B&B	1		
S	Colorado Blue Spruce	Picea pungens	5' HT. B&B	2		
TOTAL						



LANDSCAPE PLAN

SCALE 1" = 30' - 0"

SIEGER ARCHITECTS
ARCHITECTURE
73 WHITE OAKS LN
Phone: 608.347.7332
siegerarchitects@sbcglobal.net

SITE
Fitchburg 6 Unit
Anderberg & Oregon Rd
Fitchburg, WI

owner
SALiving LLC Group
P.O. Box 45724
Madison, WI 53744

C1.5

C.T.H. 'MM'
66' PUBLIC RIGHT-OF-WAY
U.S.H. '14'
PUBLIC RIGHT-OF-WAY VARIES

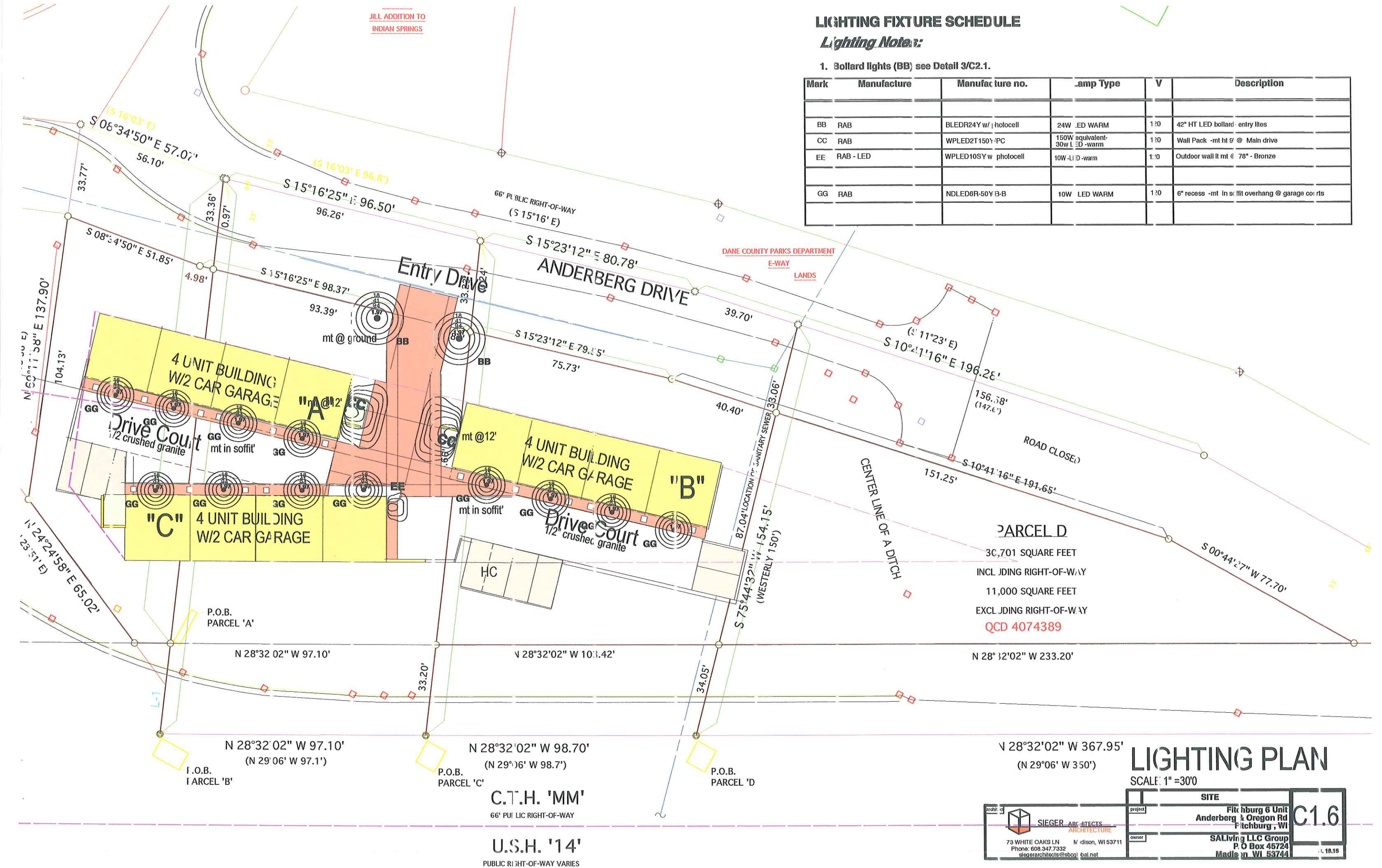
JILL ADDITION TO
INDIAN SPRINGS

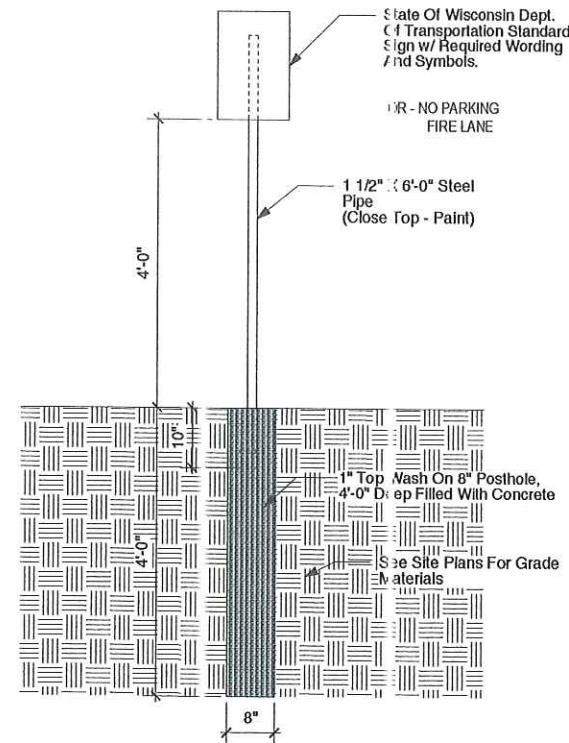
LIGHTING FIXTURE SCHEDULE

Lighting Notes:

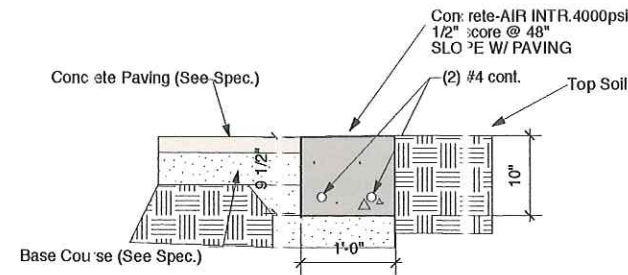
1. Bollard lights (BB) see Detail 3/C2.1.

Mark	Manufacture	Manufacture no.	Lamp Type	V	Description
BB	RAB	BLED24Y w/ photocell	24W LED WARM	120	42" HT LED bollard - entry lites
CC	RAB	WPLED2T150Y-PC	150W equivalent-30w LED -warm	120	Wall Pack -mt ht 9' @ Main drive
EE	RAB - LED	WPLED10SYW photocell	10W LED -warm	120	Outdoor wall lt mt @ 78" - Bronze
GG	RAB	NDLED6R-50Y B-B	10W LED WARM	120	6" recess -mt in slt overhang @ garage coirts

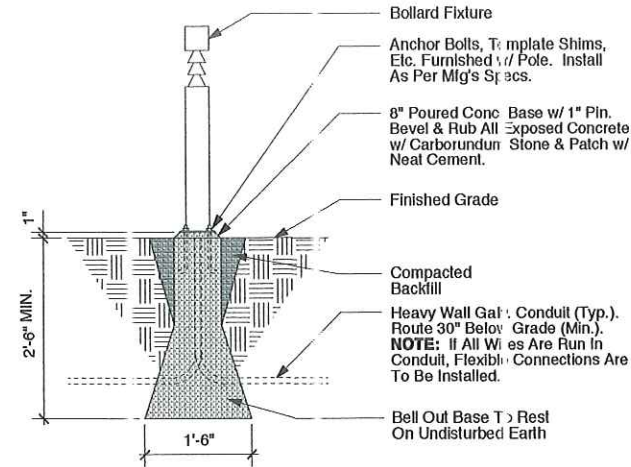




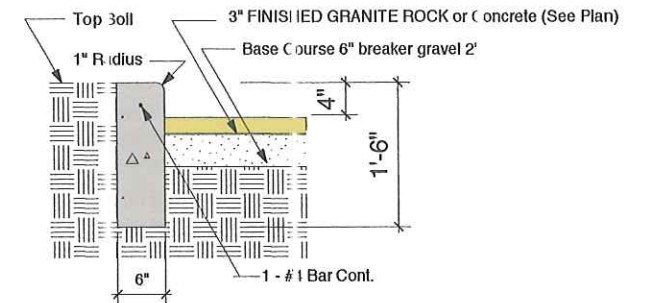
1 HANDICAP PARKING SIGN TYPICAL - "NO PARKING" SIGN
Scale: 1" = 1'-0"



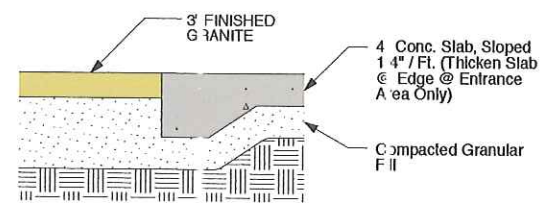
2 CURB DETAIL
Scale: 1" = 1'-0"



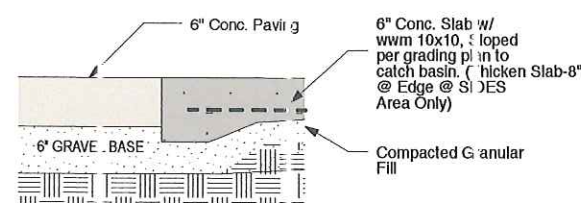
3 BOLLARD BASE
Scale: 3/4" = 1'-0"



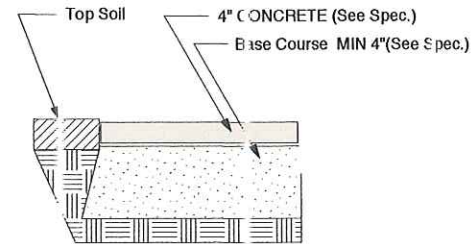
4 CURB
Scale: 1" = 1'-0"



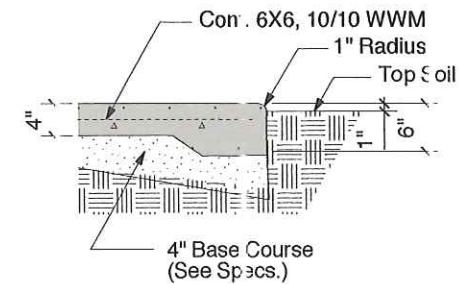
5 CONCRETE WALK EDGE DETAIL
Scale: 1" = 1'-0"



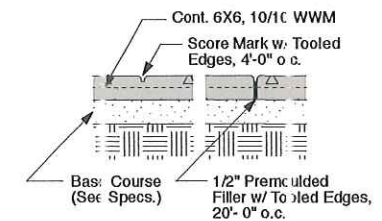
6 CONCRETE EDGE @ DUMPSTER APRON
Scale: 1" = 1'-0"



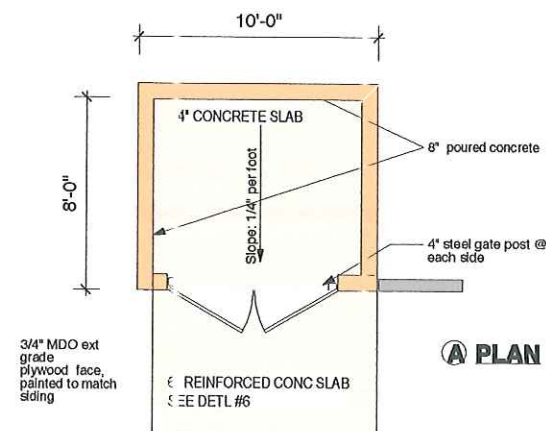
7 PAVEMENT @ GRASS
Scale: 1" = 1'-0"



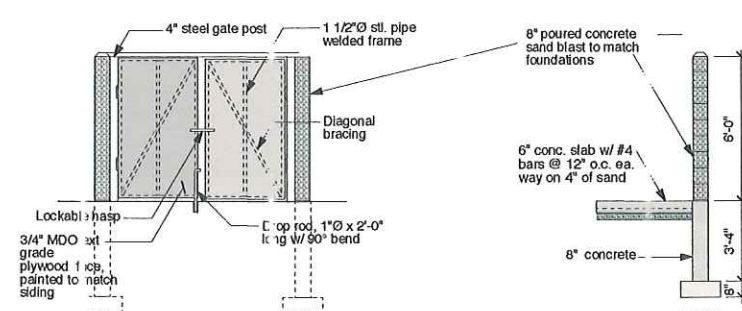
8A WALK & LAWN
Scale: 3/4" = 1'-0"



8B WALK JOINT
Scale: 3/4" = 1'-0"



A PLAN



B ELEVATION

C SECTION

9 TRASH ENCLOSURE
Scale: 1/4" = 1'-0"

Architect		S EGER ARCHITECTS		PROJECT	
73 WHITE OAKS LN		Madison, WI 53711		Fitchburg 6 Unit	
Phone: 608. 47.7332		segerarchitects@sbcbglobal.net		Anderberg & Oregon Rd	
				Fitchburg, WI	
owner		SALIVING LLC Group		owner	
		P.O. Box 45721			
		Madison WI 53741			

C2.1

8.10.15

Plant Specifications

General Information

is hereinafter referred to as the Owner and may be represented by an approved representative. Sieger Architecture is hereinafter referred to as the Landscape Architect.

The Contractor signing this Agreement, or his duly appointed representative is hereinafter referred to as the Contractor.

Bidding is based on sheets dated and specifications.

The competency and responsibility of Bidders will be considered in making the award. The Owner reserves the right to reject any or all bids, and to waive informality in bids received.

Responsibilities of Contractor

Laws and Ordinances: The Contractor and all Subcontractors shall bind themselves to comply with all laws and ordinances and requirements of all authorities having jurisdiction over this property, and shall protect the owners from damage arising from violation thereof.

The Contractor shall give his personal supervision to the work, and have a responsible superintendent continuously on the job to act for him.

Ten is of payment will be as established by the Owner.

Public liability and property damage insurance will be as determined by the Owner.

Approval and Rejection of Materials

Approval: The selection of all materials and execution of all operations required under these drawings and specifications are subject to approval of the Landscape Architect or Owner.

Rejection: The Landscape Architect or Owner shall have the right to reject all material and all work which in his opinion does not meet the requirements of the drawings and specifications at any stage of the operation. All rejected material shall be removed by the Contractor at his direction.

Lay-out

The Contractor shall layout his work and set necessary markers and stakes, and be responsible for the corrections. The Landscape Architect, or Owner, reserves the right to relocate shrubs and trees from positions on the plans prior to planting. The Contractor shall notify the Landscape Architect, Owner at least three (3) days in advance that the locations are staked and ready for approval prior to planting.

Extra or Omitted Work

When no new or unforeseen items are anticipated, they shall be classed as extra work; if they cannot be covered by any of the specifications or drawings. The Contractor shall submit detailed prices for any extras to the Landscape Architect, and shall perform extras upon written acceptance from the Owner or Landscape Architect. In the absence of such written order, he shall not be entitled to payment for such extra work. All bids for extra work shall be submitted monthly.

Changes in the Work

The Landscape Architect shall have authority to order minor changes in the work not involving an adjustment in the contract sum or an extension of the contract documents. Such changes may be effected by field order or by written order. Such changes shall be binding on the Owner and Contractor.

The Owner without invalidating the contract, may order changes in the work consisting of additions, deletions or other revisions, with the contract time being adjusted accordingly. All changes in the work shall be authorized by change order and shall be executed under the applicable conditions of the contract documents.

Landscape Architect's Status

The Landscape Architect is the agent of the Owner. He has authority to stop work whenever such stoppage may be necessary to insure the proper execution of the Contract.

The Landscape Architect is the interpreter of the conditions of the contract and the judge of its performance; he stands aside neither with the Owner nor with the Contractor, but shall use his powers under the Contract to enforce the faithful performance by both.

Drawings and Specifications

Should there be anything shown on the drawings but not described in the specifications, or not shown on the drawings but described in specifications, the same shall be fully executed and carried out as if drawn, shown, or described in both. The Contractor is not to make any alterations or corrections on the drawings or in the specifications. Should any error appear, the same is to be referred to the Landscape Architect before the bids are submitted, or the work is commenced, or as otherwise specified herein.

Landscape contractor to verify all plant quantities prior to bid.

Excavation of Site

All contractors submitting proposals for this work shall first examine the site and all conditions at the site. All proposals shall take into consideration such conditions as may effect the work under this contract.

Measurements, Layouts and Levels

All trees and levels necessary for the location and erection of the landscape construction and for the excavation, filling, and grading work shall be established by the Contractor. The Contractor shall take his own measurements of the site, verifying it with the drawings, and shall be responsible for the proper fit of his portion of the completed work.

Extra changes or compensation will not be allowed on the account of differences between actual measurements and the dimensions shown on the drawings, but any such differences that may be found shall be submitted to the Landscape Architect for adjustment before proceeding with the work.

Substitution of Materials

The Contractor, before submitting his bid, shall locate all necessary materials as called for in the plans and specifications, and shall be assured of their availability for use on the job.

The Contractor's bids shall be based upon providing the specified materials, processes, products, etc. identified in the specifications, and/or indicated on the drawings.

Substitutes will be permitted only upon admission of proof that specified plants are not obtainable, and with the authorization of the Landscape Architect. Written requests with nearest available size, and variety of plant, and price adjustment, are to be submitted to the Landscape Architect.

Supervision

The Landscape Architect will not engage in any way to superintend so as to relieve the Contractor of responsibility for the consequences of neglect or carelessness of him or his subordinates.

Scope

Perform all work required to complete the landscape installation including all labor, materials, services, and equipment necessary and described herein and shown on the accompanying drawings.

Applicable Standards

American Standard for Nursery Stock, latest edition.

American Standard Committee on Horticultural Nomenclature, edition of Standardized Plant Names.

General Notes

All plants shall conform to the standards as given in Grades and Standards of Nursery Plants published by the A.A.N.

The Landscape Contractor is responsible for verification of all quantities. Any discrepancies shall be brought to the attention of the Landscape Architect; however, it is the Contractor's responsibility to provide all trees as shown on the plans, and plant beds so that each has the proper quantity of shrubs for the areas designated.

Proposed trees are to be located either completely in or completely out of the planting beds. Bedlines are not to be obstructed.

The Landscape Contractor is responsible for all staking and guying of trees.

Existing Trees & Areas Outside of Grading Limits

Trees and vegetation to be saved shall be protected from damage by a wood fence barricade prior to or during cleaning operations. Trees to be saved will be designated by the Owner. No trees are to be removed from areas outside the limits of grading from specifically designated undisturbed areas within the construction area. If, in the opinion of the Landscape Architect, a contractor damages a tree not to be removed, the Contractor will be fined \$100.00 per caliper inch for each damaged tree. The Contractor will also be responsible for all costs in removing the damaged tree from the site.

Water

Water will be available on the site at no expense to the Contractor. Hoses and other watering equipment required for the work shall be furnished by the Contractor at his expense.

Berms

The Contractor is responsible for the construction of all berms shown on the landscape planting plans or berm plans. Berms may be built of excavated soil from bed preparation and/or stockpile material should follow contour according to plans. If more material is necessary for berm construction, Contractor is responsible for additional material. All grades should be smooth slopes to allow for mowing without scalping lawn areas. Settling and refilling should be accomplished before planting grass, or other permanent materials.

Clean-up

During the work, the premises are to be kept neat and orderly at all times. Storage areas for plants and other materials shall be so organized that they are neat and orderly. All trash including debris resulting from removing weeds or from planting areas, preparing beds, or planting plants shall be removed from the site daily as the work progresses. All walks and drives shall be kept clean by sweeping and/or hosing. excavated soil may be distributed on the site as directed by the owner.

Acceptance

Acceptance for all landscape work shall be given after final inspection by the Owner and/or Landscape Architect, provided the job is in a completed, undamaged condition, and there is grass (substantial coverage) in all grass areas. At this time, the Owner will assume maintenance on the accepted work. Acceptance of partial phases will be considered by the Owner.

Maintenance

The Contractor shall maintain all trees, shrubs, and groundcover under this Contract until acceptance, by watering, mowing, spraying and replacing as necessary to keep plants in a healthy, vigorous condition, and shall rake bed areas as may be required to keep neat.

The Contractor shall maintain all grass areas under this Contract until acceptance by watering, mowing, spraying, etc. Occasional weeding may be required; however, it is anticipated that mowing will be sufficient to control weeds.

Cultivating: Shall consist of scarifying the two inches so lumps of soil are less than 2" diameter, and all weeds are removed.

Weeding: Shall consist of digging out all plant material other than the desired shrubs and groundcovers every two weeks. Weeding may be handled by herbicide spraying at the Contractor's expense if it is acceptable to all parties concerned.

Guarantee

All plants shall be guaranteed by the Contractor, for a twelve (12) month period after date of acceptance. The Contractor shall replace all dead materials and all materials not in a vigorous, thriving condition, as soon as weather permits and on notification by the Landscape Architect. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Landscape Architect shall be final.

Plants used for replacement shall be of the same kind and size as those originally planted, and shall be planted as originally specified, replacements shall carry a twelve (12) month guarantee from date of replacement. Any damage, including runs in lawn and bed areas, incurred in making replacements shall be immediately repaired.

At the direction of the Landscape Architect, plants may be replaced at the start of next year's planting or digging season; but in such cases, dead plants shall be removed from the premises as soon as they are designated to be replaced.

The Owner agrees for the guarantee to be effective, I will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

To insure that proper maintenance is being performed by the Owner during the guarantee period, the Contractor shall:

1. Make at least one site inspection every month to ascertain any maintenance deficiencies.
2. Inform Owner's maintenance supervisor of any maintenance deficiencies.
3. Prepare written documentation of the site inspection, noting all deficiencies encountered, maintenance personnel who are made aware of deficiencies, suggested remedy methods, and any other pertinent comments on maintenance.
4. Submit this written documentation of the monthly inspection to the Landscape Architect as well as to the Owner.

The Above guarantee shall not apply where plants die after acceptance because of injury by storms, drowning from floods, hail, freeze insects, disease, injury by humans, machines or theft. These items are to be negotiated between the Owner and Contractor.

Plants (General)

Plant material shall be delivered to the site only after the beds are prepared and are ready for planting. All shipments of nursery materials shall be thoroughly protected from the sun and from drying winds during transit. All plants that cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Ball earth on B&B plants shall be kept covered with soil or other acceptable material. All plants remain property of the Contractor until final acceptance.

Plants shall be nursery grown, healthy, vigorous, bushy, well balanced, of normal habit of growth for the species, and shall be free from disease, insect eggs and larvae. They shall have crown and root ball sizes that meet or exceed the standards set forth in "Grades & Standards for Nursery Plants" by the A.A.N. The specified sizes shall be before pruning and plants shall be measured with their branches in normal position. Plants shall not be pruned prior to delivery, except upon special approval. All pruning of new trees and shrubs, as directed by the landscape Architect, shall be executed by the Contractor at no additional cost to the Owner.

Trees shall be healthy, vigorous, full-branched, single leader, well shaped, and shall meet the trunk diameter, height, and spread requirements of the plant list, and meet the standards of "Grades & Standards for Nursery Plants". Balls shall be firm, neat, slightly tapered and well burlapped. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be sized in accordance with the A.A.N. Standards.

All shrubs and groundcovers shall be of "specimen" quality, full and bushy to the ground, and of compact growth.

All plants shall be hardy under climatic conditions similar to those in locality of the project.

Should the Contractor encounter soil condition that is inhospitable to normal planting, it is his responsibility to modify the soil so that the plants will thrive. These modifications may include providing any extra soil as may be required for planting.

Tree & Shrub Planting

Plant deciduous trees: Tree-pit 2'-0" greater in diameter than ball and at a height that assures proper drainage and vigorous growth. Plant evergreen trees in tree-pits 2'-0" greater in diameter than ball at a height for proper drainage and vigorous growth. Fill bottom of pit (to depth of root ball) with mixture of soil that shall be one (1) part existing top soil, to one (1) part peat moss, to one (1) part clean sand. After settling the tree, the pit shall be backfilled with soil mix, then carefully settled by watering to prevent air pockets. Form a 4" watering ring for each tree. Fertilize with Osmocote at the rate recommended by the manufacturer.

Plant shrubs in beds 6" larger than the root ball and at a height which assures proper drainage and vigorous growth. Backfill with soil mixture in the same proportions as for tree planting. Osmocote fertilizer shall be applied at the rate recommended by the manufacturer.

All plant beds plus area three feet greater in diameter than the ball around each tree shall be mulched with 3" of clean organic mulch.

Groundcover / Seasonal Color

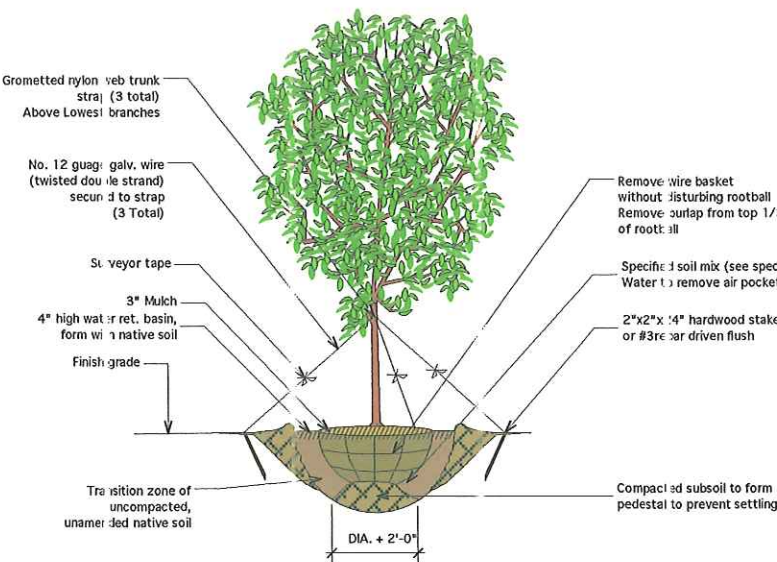
Groundcover beds shall be excavated to a depth of 6" Remove all stones, roots, hardpan, debris, etc. Tota-ly excavated bed to a depth of 6". Add sufficient planting soil (1 part organic, 1 part sand, 2 part top soil) to raise entire bed 6" above original grade. Fertilize with Osmocote fertilizer at the rate of four pounds per 100 square feet. Add 1 lb. of bonemeal per 50 square feet, rake in top 2" of planting soil, rake smoothly. Mulch with 3" mini bark chips.

Grass Planting

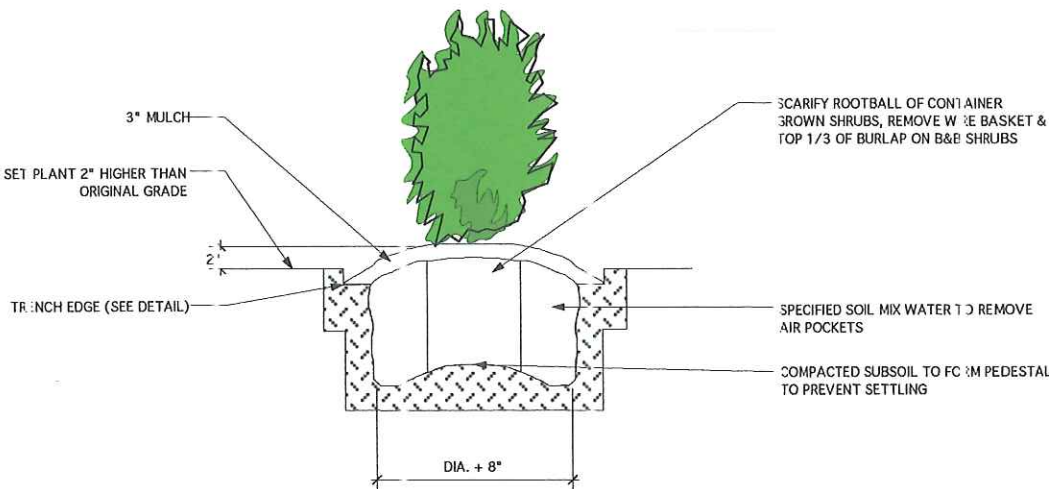
All areas to be sodded shall be raked to a depth of 2" below finished grade of seed or sod beds and raked smoothly. Areas next to sidewalks and curbs shall be graded down one inch below finish grade to allow for thickness of grass buildup. All grass areas shall be fertilized with a commercial fertilizer at the rate as recommended by grass seed supplier.

Sod areas will be planted with sod as indicated on the plans. All sod shall be placed closely so joints are flush between blocks. Sodded areas shall be rolled with a 200 pound roller, watered thoroughly and re-rolled.

Notes: Detail shown for 2 1/2" cal. & larger deciduous trees, 7" & larger evergreen trees, & multi-trunk trees. Contractor to remove all tree staking accessories at the end of the first year of maintenance. Plant trees at a depth which will ensure proper drainage and vigorous growth for individual soil conditions.



1 DECIDUOUS/ MULTI-TRUNK TREE PLANTING ELEVATION NOT TO SCALE



2 SHRUB PLANTING ELEVATION NOT TO SCALE

1501 Monroe St
Madison, WI 53711
Phone: 608.283.6100 Fax: 608.283.6101

SIEGER LLC
ARCHITECTURE

OWNER
SALVING LLC
MADISON, WI 53744

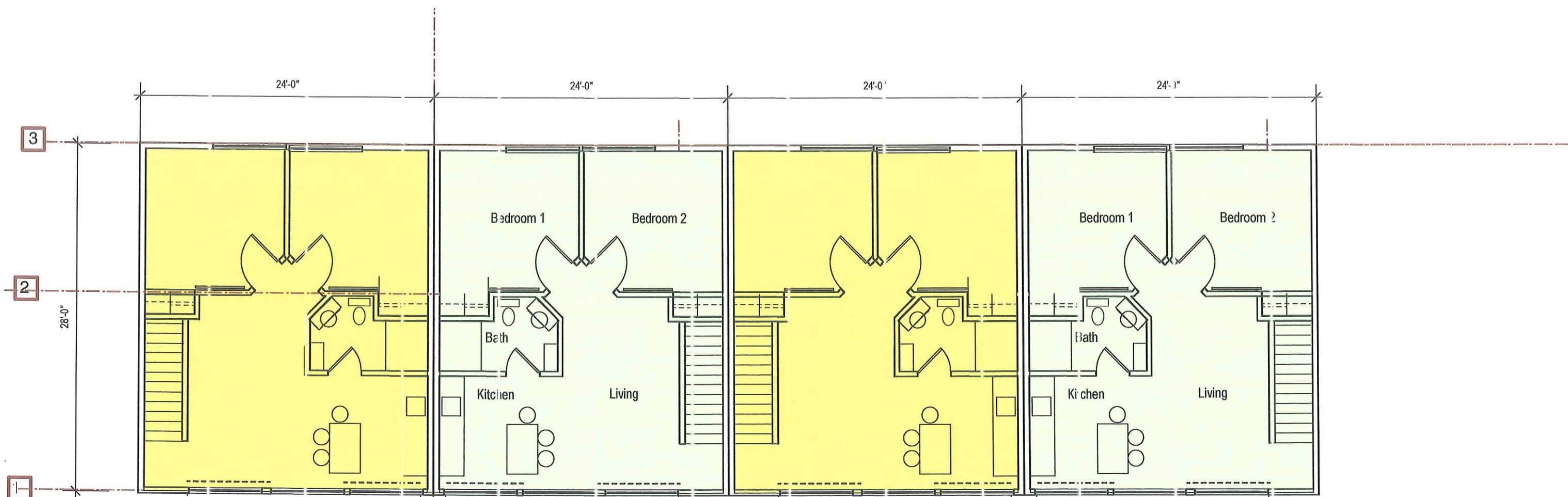
PROJECT
12 UNIT E-WAY VIEW
ANDERBERG DRIVE
MILWAUKEE, WI 53219

REVISIONS

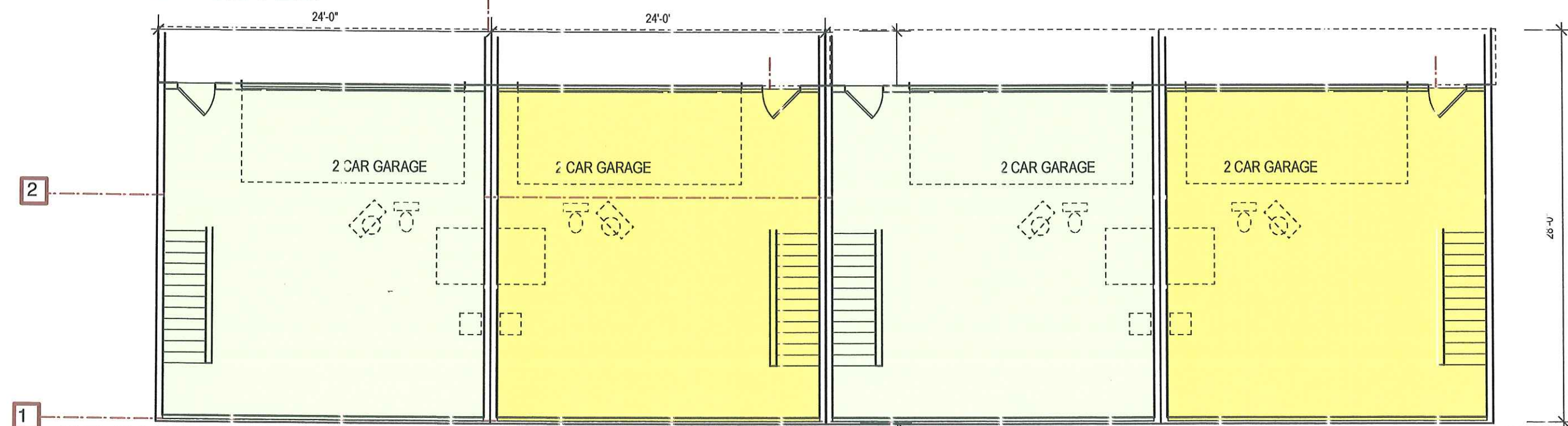
DATE
8.18.15

DESIGNED BY
1510

SHEET #
C2.3



UPPER LEVEL



GROUND FLOOR LEVEL

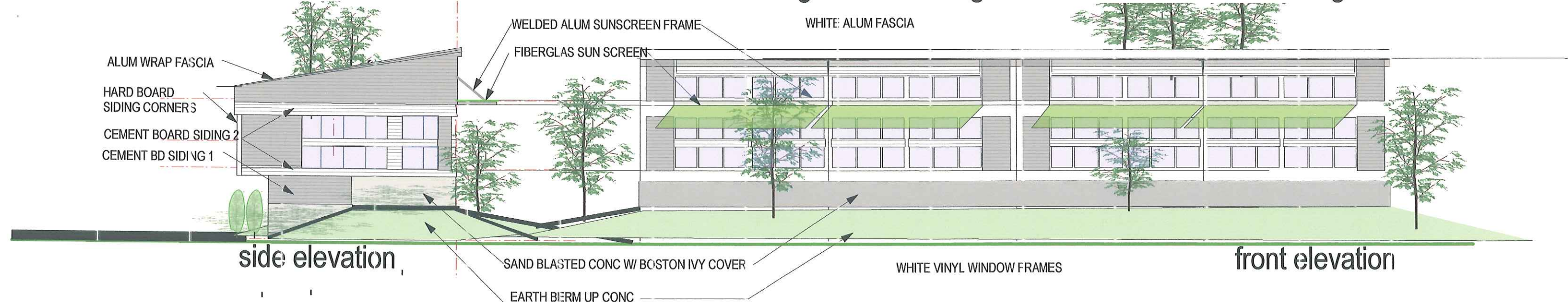
SIEGER ARCHITECTS 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbo-global.net		- PLANS project Fitchburg 12 Unit Anderberg & Oregon Rd Fitchburg, WI owner SALiving LLC Group P.O. Box 45724 Madison, WI 53744	A1.1 9.1.15
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*NOTE: Drawings are 50% scale for 11x7 print sets.



AFFORDABLE DESIGNER HOUSING - Anderberg Dr. Fitchburg WI

SiegerARCHITECTS



 SIEGER ARCHITECTS 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@bcgglobal.net		- PLANS Fitchburg 12 Unit Anderberg & Oregon Rd Fitchburg, WI owner: SALiving LLC Group P.O. Box 45724 Madison, WI 53744		A4.1 3.1.15
*NOTE: Drawings are 50% scale for 11x17 print sets.				

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Color: Bronze

BLEDR24Y

- Patent-pending base mount design for super sturdy installation
- Durable construction and vandal-resistant polycarbonate lens
- 3 configurations to provide 360°, 270°, 180° or 90° lighting pattern
- Precision-engineered optics deliver maximum downward lighting w/o glare
- Four leveling screws provided for easy installation
- 100,000-hour LED lifespan

LED Info

Watts:	24W
Color Temp:	3000K (Warm)
Color Accuracy:	82 CRI
L70 Lifespan:	100,000
LM79 Lumens:	1,161
Efficacy:	38 LPW

Driver Info

Type:	Constant Current
120V:	0.26A
208V:	0.18A
240V:	0.15A
277V:	0.14A
Input Watts:	30W
Efficiency:	79%

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EZ Layout



Design a custom lighting layout

Technical Specifications

UL Listing:
Suitable for wet locations.

LEDs:
6W multi-chip, long-life LEDs

Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

Driver:
Two Drivers, Constant Current, Class 2, 100-277V, 50/60 Hz, 4kV Surge Protection, 100-240VAC 0.3 - 0.15 A, 277VAC 0.03 A.

THD:
10.9% at 120V

Ambient Temperature:
Suitable for use in 40°C (104°F) ambient temperatures

Cold Weather Starting:
Minimum starting temperature is -40°F/-40°C

Thermal Management:
Cast aluminum Thermal Management system for optimal heat sinking. The BLED is designed for cool operation, maximum efficiency and long life by minimizing LED junction temperature.

Reflector:
Specular polycarbonate

Gaskets:
High-temperature silicone gaskets seal out moisture

Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:
LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011

Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contain no VOC or toxic heavy metals.

Green Technology:
Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

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WPLED2T78N/PC

High performance LED light engine
Maintains 70% of initial lumens at 100,000 hours
Weatherproof high temperature silicone gaskets
Superior heat sinking with die cast aluminum housing and external fins
Replaces 400W MH
100 up to 277 Volts
5-year warranty

Color: Bronze

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LED Info

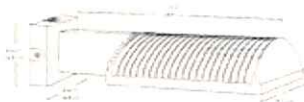
Watts: 78W
Color Temp: 4000K (Neutral)
Color Accuracy: 82 CRI
L70 Lifespan: 100,000
LM79 Lumens: 6,301
Efficacy: 80 LPW

Driver Info


Type:	Constant Current
120V:	0.66A
208V:	N/A
240V:	N/A
277V:	N/A
Input Watts:	79W
Efficiency:	99%

Dimensions

Weight: 34.8 lbs



EZ Layout



Design a custom lighting layout

Technical Specifications

WPLED2T78 with Photocell:
120V Button Photocell Included. Photocell is only compatible with 120V.

UL Listing:
Suitable for wet locations as a downlight.

Lumen Maintenance:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

IP Rating:
Ingress Protection rating of IP66 for dust and water.

Specification Grade Optics:
The Type II distribution is ideal for wide walkways, on ramps and entrance roadways, bike paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadside. This type of lighting is commonly found on smaller side streets or jogging paths.

LEDs:
Six (6) multi-chip, 13W, high-output, long-life LEDs.

Driver:
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

THD:

Gaskets:
High temperature silicone gaskets.

Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:
Mercury and UV free.

IESNA LM-79 & IESNA LM-80 Testing:
RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

DLC Listed:
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Replacement:
The WPLED78 replaces 400W Metal Halide Wallpacks.

California Title 24:
WPLED2T78/PC complies with 2013 California Title 24 building and electrical codes as a commercial outdoor pole-mounted fixture > 30 Watts mounted at height greater than 24 feet. For mounting heights < 24 feet see WPLED2T78/BL with bi-level operation; additional component requirements will be listed in the Title 24 section under technical

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Color: Bronze

WPLED10SY

High performance LED light engine
Maintains 70% of initial lumens at 100,000 hours
Weatherproof high temperature silicone gaskets
Superior heat sinking with die cast aluminum housing and external fins
5-year warranty

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our lighting specialists
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LED Info

Watts: 10W
Color Temp: 3000K (Warm)
Color Accuracy: 45 CRI
L70 Lifespan: 100,000
LM79 Lumens: 410
Efficacy: 31 LPW

Driver Info

Type: Constant Current
120V: 0.21A
208V: 0.14A
240V: 0.12A
277V: N/A
Input Watts: 13W
Efficiency: 76%

Dimensions



EZ Layout



Design a custom lighting layout

Technical Specifications

UL Listing:
Suitable for Wet Locations as a Downlight. Suitable for Damp Locations as an Uplight. Wall Mount only. Suitable for Mounting within 4ft. of ground.

Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:
LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:
RAB's range of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2008.

Cold Weather Starting:
The minimum starting temperature is -40°F/-40°C.

Mounting:
Surface mount.

California Title 24:
See WPLED10/PC for a 2013 California Title 23 compliant model.

Green Technology:
RAB LEDs are Mercury, Arsenic and UV free.

Patents:
The LPACK design is protected under patents in the U.S. Pat. D608,040, Canada Pat. 130,243, China Pat. 200930183252.2, and pending patents in Taiwan and Mexico.

Dark Sky Approved:
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

For use on LEED Buildings:
IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

IESNA LM-79 & IESNA LM-80 Testing:
RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Gaskets:

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Color: Black trim black cone

NDLED6R-50Y-B-B

Butterfly bracket allows mounting with bar stock, "C" channel, 1/2" conduit or nailer bars
Low-profile design allows for installation in ceilings with limited space
Absolute White 3-step consistency and black body accurate
Nanostructure lens eliminates "hot spots" providing smooth and efficient light

Need Help?
Chat live with one of
our lighting specialists

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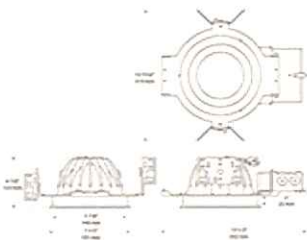
LED Info

Watts: N/A
Color Temp: 3000K (Warm)
Color Accuracy: N/A CRI
L70 Lifespan: 100,000
LM79 Lumens: N/A
Efficacy: N/A

Driver Info

Type: Sold Separately
120V: N/A
208V: N/A
240V: N/A
277V: N/A
Input Watts: N/A

Dimensions



Technical Specifications

UL Listed:
Suitable for wet locations covered ceiling.

Photometrics:
Photometrics are based on prorated reports. Contact the RAB Lighting Design department for the most up-to-date data.
[See photometric data and download IES files here.](#)

Trim Component:
This component must be ordered with New Construction Round Rough-In in order to make a complete fixture.
[See here for New Construction Round Rough-In.](#)

Housing:
Professional-grade, die-cast aluminum construction.

Trim Ring:
Black powder coated die cast trim ring.

Trim Cone:
Black round trim cone.

Drop Ceiling Installation:
NDLED can be installed in drop ceiling tiles when using optional c-channel bars and following local construction codes.

Aperture Size:
6" Trim Module.

Easy Installation:
The EZ-Connector makes installation easy.

Air Tight:
Housing certified Air Tight as per ASTM E283

Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

California Title 24:
NDLED6R complies with 2013 California Title 24 building and electrical codes as a residential indoor fixture and commercial indoor fixture for general spaces.

Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. [See our full warranty here.](#)

Country of Origin:
Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

Buy American Act Compliant:
This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.